

NOTICE OF APPLICATION

Rancho Villa Expansion

Summary:

The applicant is requesting Site Plan Review and State Environmental Policy Act (SEPA) review for site development of a new Manufactured Home Park with 31 spaces and associated site development. The applicant is requesting alteration and vacation of the existing lots and right-of-way (undeveloped streets) for the site development.

- Site Plan Review and State Environmental Policy Act (SEPA) review for site development of a new Manufactured Home Park with 31 spaces and associated site development.
- Alteration and Vacation of a portion of a Subdivision, under RCW 58.17.212 and 58.17.215, pertaining to following lots of Westdale First Addition: Block 3, Lots 21 to 26 and Block 4, Lots 1 to 5 and Lots 22 to 26, including the vacation of the western approximately 400 feet of Callahan Drive in Westdale First Addition and the vacation of Jude Street (unopened) adjacent to the west side of the Westdale First Addition.

Notice is hereby given on this date: **March 23, 2023**, that the application/proposal described in this notice has been filed with the City of Walla Walla. The application documents may be reviewed at the City of Walla Walla Development Services Department at 55 E. Moore Street, Walla Walla, WA 99362 or visiting the city's website at <https://www.wallawallawa.gov/government/development-services/public-notice>.

All interested persons and parties may comment on the application, receive notice of hearing and/or a copy of decision(s) made on the proposal by filing a special notice request with the City of Walla Walla as provided in section 20.14.015 of the Walla Walla Municipal Code, and participate in hearings, if any.

Comments upon this application must be submitted in writing to the City of Walla Walla Development Services at 55 E. Moore St., Walla Walla, WA 99362 or via email to permits@wallawallawa.gov Comments must be actually received by the Development Services Department before 5:00 P.M. on April 10, 2023.

The City of Walla Walla Development Services Department is using the optional threshold determination process under the State Environmental Policy Act (SEPA), authorized by WAC 197-11-355. The application comment period may be the only opportunity to comment on the environmental impacts of the proposal. A copy of the SEPA determination on the proposal may be obtained upon request. The proposal may include mitigation measures under applicable codes, and the project

review process may incorporate or require mitigation measures regardless of whether an environmental impact statement is prepared. The SEPA responsible official has preliminarily determined that the proposal is subject to threshold determination requirements and the responsible official expects to issue the following threshold determination: Mitigated Determination of Non-Significance (MDNS).

The following identified existing environmental documents are hereby incorporated by reference, and all or part of the documents may be used to evaluate the application/proposal:

The Walla Walla Comprehensive Plan, Walla Walla 2040, and Final Environmental Impact Statement issued May 22, 2018. Submitted SEPA environmental checklist,

These documents are located at the offices of the City of Walla Walla Development Services at 55 East Moore St., Walla Walla, Washington, and shall be made available for public review during all applicable comment periods on the application/proposal. The relevant content of these documents is briefly described as an Environmental Impact Statement for the Walla Walla Urban Growth Area which evaluates proposed actions, alternatives, and environmental impacts of activities allowed by the Walla Walla Comprehensive Plan & Environmental Impact Statement, as amended, for designated land use classifications.

The following information may be included, where indicated, in the application or a determination of completeness upon the proposal made by the City of Walla Walla. If reference is made below to the application or determination of completeness, copies of the referenced materials are attached hereto. Preliminary determinations and information contained herein shall not bind the City of Walla Walla and are subject to continuing review and modification.

1. Applicant: Huitt-Zollars, 1102 Broadway, Suite 301, Tacoma, WA 98402
2. Application filing date: February 24, 2023.
3. Date that application was determined to be substantially complete: March 16, 2023
4. Location and description of proposed action: 1300 Block of Callanan Drive and 1250 The Dalles Military Road APN
360730560321, 360730560322, 360730560323, 360730560324, 360730560325,
360730560326, 360730560405, 360730560404, 360730560403, 360730560402, 360730560401
360730560422, 360730560423, 360730560424, 360730560425 and 360730560426.

The applicant is requesting the following:

Site Plan Review and State Environmental Policy Act (SEPA) review for site development of a Manufactured Home Park with 31 spaces and associated site development.

An Alteration and Vacation of a portion of a Subdivision under RCW 58.17.212 and 58.17.215 pertaining to following lots of Westdale First Addition: Block 3, Lots 21 to 26 and Block 4, Lots 1 to 5 and Lots 22 to 26, including the vacation of the western approximately 400 feet of Callahan Drive in the Westdale First Addition and the vacation of Jude Street (unopened) adjacent to the west side of the Westdale First Addition.

5. Comprehensive plan map designation(s) for the locations: Commercial, Residential
6. Zoning map designation(s) for the locations: Highway Commercial, Neighborhood Residential
7. Comments upon this application must be submitted in writing to the City of Walla Walla Development Services Department at 55 E. Moore St., Walla Walla, WA 99362 or via email to permits@wallawallawa.gov. **Comments must be actually received by the Development Services Department before 5:00 p.m. on the following date: April 10, 2023.**
8. **A public hearing on the alteration and vacation of the subdivision (plat) and right of way will be held on the proposal, but it has not been scheduled yet.**
9. The following listed permits and/or authorizations have been requested in the application: Alteration and Vacation of a portion of a Subdivision, under RCW 58.17.212 and 58.17.215, Vacation of right-of-way. Site Plan Review and State Environmental Policy Act (SEPA) review for site development.

10. The following listed permits and/or authorizations, if any, may be required for the proposal but are not included in the present application: Building permits for the placement of homes.
11. The City of Walla Walla has preliminarily determined that the application for development of the Manufactured Home Park is a Level I review in the Highway Commercial zone, with the SEPA requiring a Level II review. The subdivision alteration and vacation will be processed in accordance with the Walla Walla Municipal Code (WWMC) Level IV review process.
12. The City of Walla Walla has preliminarily determined that the Walla Walla Comprehensive Plan, Walla Walla 2040/Environmental Impact Statement and the following listed code provisions, development standards, and regulations may apply to the application and mitigation of proposal impacts: WWMC Titles 12, 13, 15, 19, 20, and 21.
13. The City of Walla Walla has preliminarily determined that the following identified departments, agencies, and/or authorities may have jurisdiction over some part of the application: City of Walla Walla Public Works, Washington State Department of Transportation and Washington State Department of Ecology.
14. At this time, the Applicant has been requested to provide the following additional information and/or studies: None identified.
15. The City of Walla Walla has preliminarily determined that, in addition to the applicant and any general public notice that may be required, the following identified parties are entitled to notice of the application/proposal: none identified.
16. **SEPA lead agency: City of Walla Walla**
17. The SEPA responsible official has preliminarily determined that the proposal is subject to SEPA threshold determination requirements, and the responsible official expects to issue the following threshold determination: Mitigated Determination of Non-Significance (MDNS).
18. The Responsible Official has preliminarily determined that the following listed conditions are being considered to mitigate environmental impacts: inadvertent discovery plan (IDP).
19. Application materials and other documents referenced above are located at the City of Walla Walla Development Services at 55 East Moore St. Walla Walla, Washington, and shall be made available for public review during all applicable comment periods on the application/proposal. The relevant content of these documents is briefly described as an environmental impact statement for the Walla Walla urban growth area which evaluates proposed actions, alternatives, and environmental impacts of activities allowed by the Walla Walla Comprehensive Plan, Walla Walla 2040 & Environmental Impact Statement, as amended, for designated land use classifications. The comprehensive plan map designation(s) for the location of the proposed action is stated above.
20. **For additional information please contact the City of Walla Walla Development Services at 55 E. Moore St., Walla Walla, WA 99362. (509)524-4710**



SE 1/4, SE1/4, SECTION 30, T7N, R36E, W.M.

RANCHO VILLA MHC

SITE AREA - 1, 31 NEW UNITS

1250 THE DALLES MILITARY RD

WALLA WALLA, WA 99362

OWNER
RANCHO VILLA MHC
1250 THE DALLES MILITARY RD
WALLA WALLA, WA 99362
(509) 566-2725
CONTACT: TONY SOBERBER
EMAIL: TSOBERBER@HUTT-ZOLLARS.COM

GOVERNING AGENCY
CITY OF WALLA WALLA
1102 BROADWAY, SUITE 301
WALLA WALLA, WA 99362
(509) 566-4274
DEVELOPMENT SERVICES: 509-564-4710
CONTACT: TONY SOBERBER
EMAIL: TSOBERBER@HUTT-ZOLLARS.COM

APPLICANT/PROPERTY MANAGER
FIRST COMMERCIAL PROPERTIES
CONTACT: ROSS RONGER
DEVELOPMENT MANAGER
1102 BROADWAY, SUITE 301
BOTHELL, WA 98021
EMAIL: RROSS@FCPM.COM

CIVIL ENGINEER
HUTT-ZOLLARS
1102 BROADWAY, SUITE 301
WALLA WALLA, WA 99362
(509) 566-4274
CONTACT: TONY SOBERBER, P.E.
ANDREW PETERSEN, EIT
EMAIL: TSOBERBER@HUTT-ZOLLARS.COM
APETERSEN@HUTT-ZOLLARS.COM

SURVEYING
PRS ENGINEERING AND ENVIRONMENTAL
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SHEET INDEX:

| | |
|----------|--|
| 1. C.D. | COVER, OVERALL LAYOUT, SITE PLANS AND VICINITY MAP |
| 2. C.D. | TOPOGRAPHIC SURVEY |
| 3. C.D. | PROPOSED LAYOUT AND LEGEND |
| 4. C.D. | PROPOSED LAYOUT AND LEGEND |
| 5. C.D. | PROPOSED LAYOUT AND LEGEND |
| 6. C.D. | PROPOSED LAYOUT AND LEGEND |
| 7. C.D. | PROPOSED LAYOUT AND LEGEND |
| 8. C.D. | PROPOSED LAYOUT AND LEGEND |
| 9. C.D. | PROPOSED LAYOUT AND LEGEND |
| 10. C.D. | PROPOSED LAYOUT AND LEGEND |
| 11. C.D. | PROPOSED LAYOUT AND LEGEND |
| 12. C.D. | PROPOSED LAYOUT AND LEGEND |
| 13. C.D. | PROPOSED LAYOUT AND LEGEND |
| 14. C.D. | PROPOSED LAYOUT AND LEGEND |
| 15. C.D. | PROPOSED LAYOUT AND LEGEND |
| 16. C.D. | PROPOSED LAYOUT AND LEGEND |
| 17. C.D. | PROPOSED LAYOUT AND LEGEND |

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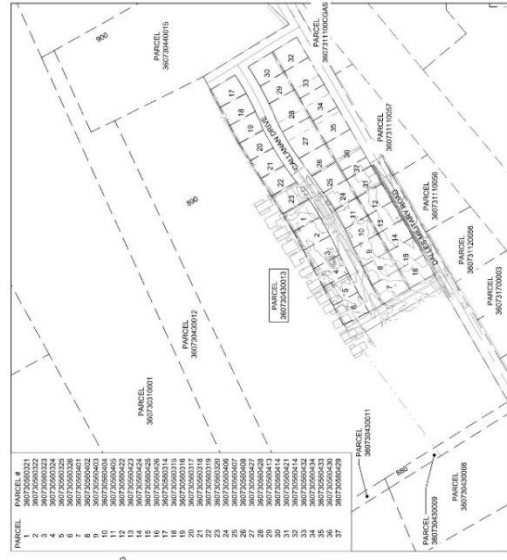
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SITE PLAN - AREA 1
SCALE: 1" = 50'

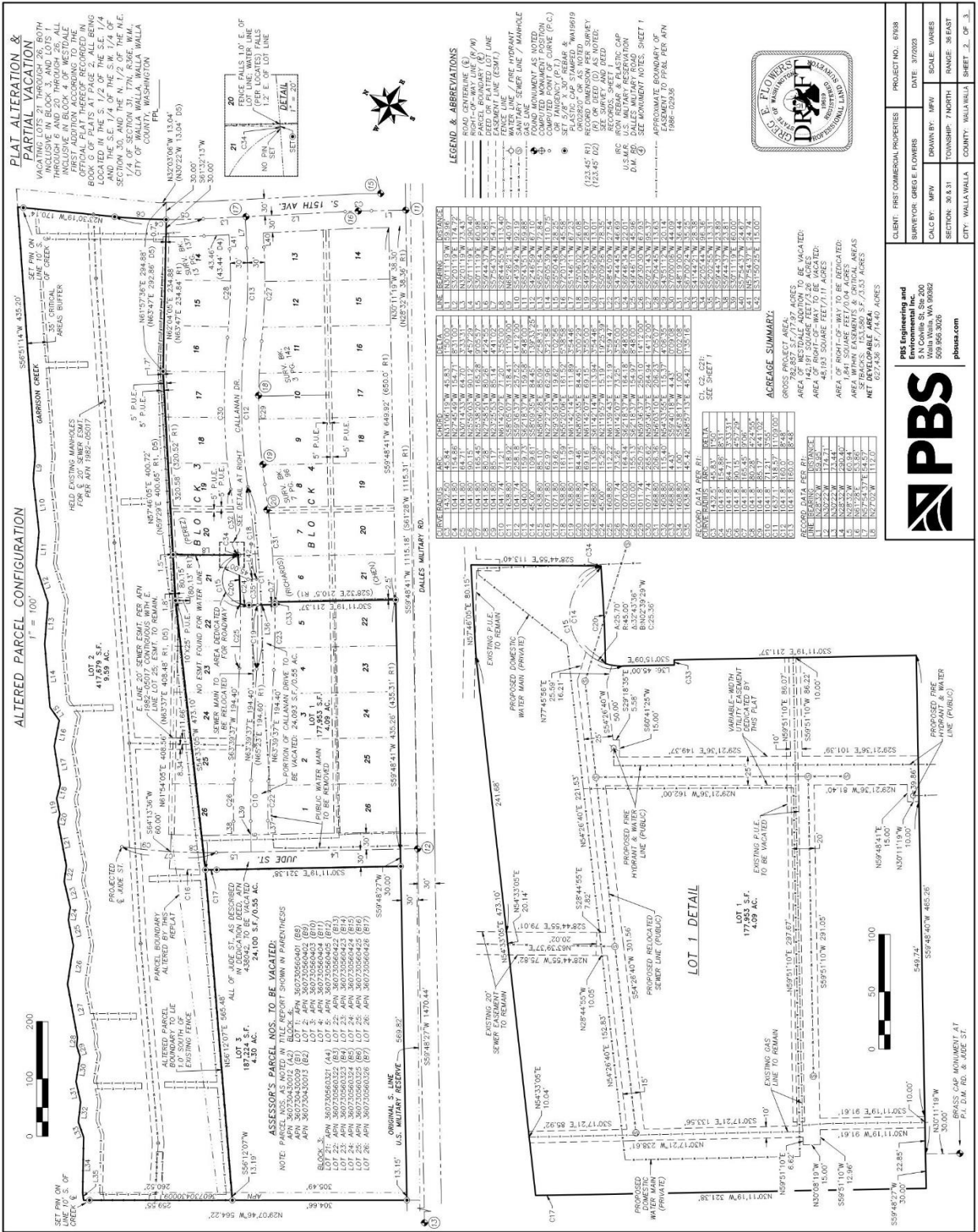


OVERALL MOBILE HOME PARK LAYOUT
SCALE: 1" = 200'



NOTE: CONTRACTOR SHALL RECORD ANY FIELD CHANGES TO THE LAYOUT AND RECORDS SHALL BE KEPT ON CONSTRUCTION UPON COMPLETION OF PROJECT.

PREPARED BY: / DATE: /
CHECKED BY: / DATE: /
VERIFIED BY: / DATE: /



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| CLIENT: FIRST COMMERCIAL PROPERTIES | PROJECT NO: 0908 |
| SURVEYOR: GREG FLOWERS | DATE: 3/20/2021 |
| CALC BY: MPW | DRAWN BY: MPW |
| SECTION: 38.31 | TOPOGRAPHY: NORTH |
| CITY: WALLA WALLA | COUNTY: WALLA WALLA |
| | SHEET 2 OF 3 |